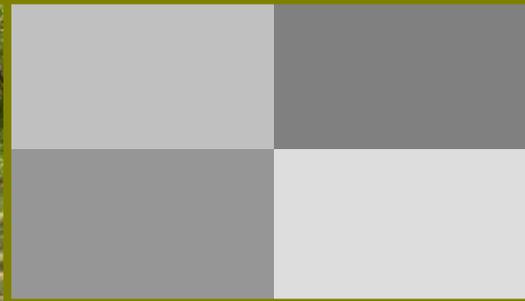


Stratford Estates Neighborhood Action Plan

OWNERSHIP



COMMITMENT



COMMUNITY



TEAMWORK

Proudly presented by the residents of the Stratford Estates Neighborhood August 2008

ACKNOWLEDGEMENTS

SPECIAL THANKS TO THE FOLLOWING MEMBERS OF THE NEIGHBORHOOD PLANNING TEAM ...

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Jim Guardipee, *resident*
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Kay White, *resident*
Linda Sartor, *resident*
Sarah Adams, *resident*
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Executive Summary

The Stratford Estates neighborhood was selected to participate in the Neighborhood Planning Program because of ongoing citywide initiatives to sustain Plano's maturing communities. After analyzing property standards and police statistics, and housing and infrastructure conditions, the Neighborhood Planning Program initiated a planning project for the neighborhood at the southeast corner of Park Boulevard and Independence Parkway. Over a period of six months, the Neighborhood Planning Team (residents and city staff) met to identify strengths and weaknesses of the neighborhood. The team then developed 10 goals to help define Stratford Estates' overall vision. The goals established for the Stratford Estates Neighborhood Action Plan are as follows:

1. Establish and maintain a level of property maintenance that reflects community cohesiveness while adhering to the City's property standards.
2. Maintain the infrastructure of the Stratford Estates neighborhood.
3. Improve the overall image of the Stratford Estates neighborhood.
4. Reduce cut-through and high-speed traffic in the Stratford Estates neighborhood.
5. Increase neighborhood awareness of crime prevention and safety tips.
6. Reduce hazardous conditions (such as poorly lit streets) in Stratford Estates.
7. Establish Rustic Park as a gathering place and improve its overall appearance.
8. Keep Pittman Creek free of litter and debris.
9. Address erosion concerns in Pittman Creek.
10. Create an environment that encourages collaborative problem solving, demonstrates neighborly relationships, and promotes a sense of belonging for all residents.

To help achieve the stated goals, this plan establishes a series of objectives that offer specific plans of action and identifies the parties responsible for implementation. **Expected cost to implement this plan is approximately \$59,995 from existing budgets.** *Please see the Implementation Matrix for more details.*

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Background

Purpose

Neighborhood residents and city staff worked together to develop the Stratford Estates Neighborhood Action Plan. This action plan defines a vision for the future of Stratford Estates and establishes a set of objectives that will bring the vision into fruition. Stratford Estates plans to establish partnerships with various organizations to implement the targeted objectives.

The Planning Process

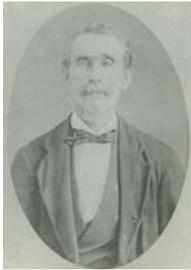
The planning effort began with bi-weekly meetings from February through April 2008, a weekend neighborhood walk-through (pictured right), and consecutive weekly meetings in May and June ([see schedule](#)). During these meetings, residents expressed their needs to city staff and in response, the two groups worked together to identify core issues and develop strategies to achieve overall community improvement. The planning team used information gathered from these meetings, the neighborhood survey, and the neighborhood inventory walk-through to develop the goals, objectives, and strategies established in this plan.

Furthermore, communication played a key role in the overall effectiveness of the planning process. Prior to initiating the planning process, 808 households received a neighborhood survey and 15% or 118 households responded to the survey. Following the first meeting in February 2008, Neighborhood Planning used several communication venues including direct mailings, e-mails, and the Neighborhood Planning Web site to keep stakeholders up-to-date with the progress of the planning project. Attempting to connect with all community stakeholders, Neighborhood Planning sent monthly meeting reminder postcards to all residents in the neighborhood. Likewise, city staff notified Collin Greene Condominiums (located at the intersection of Park Boulevard and Custer Road) and Plano Independent School District at the beginning of the planning process. *Please see Appendix A for neighborhood survey results.*



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The History of Stratford Estates



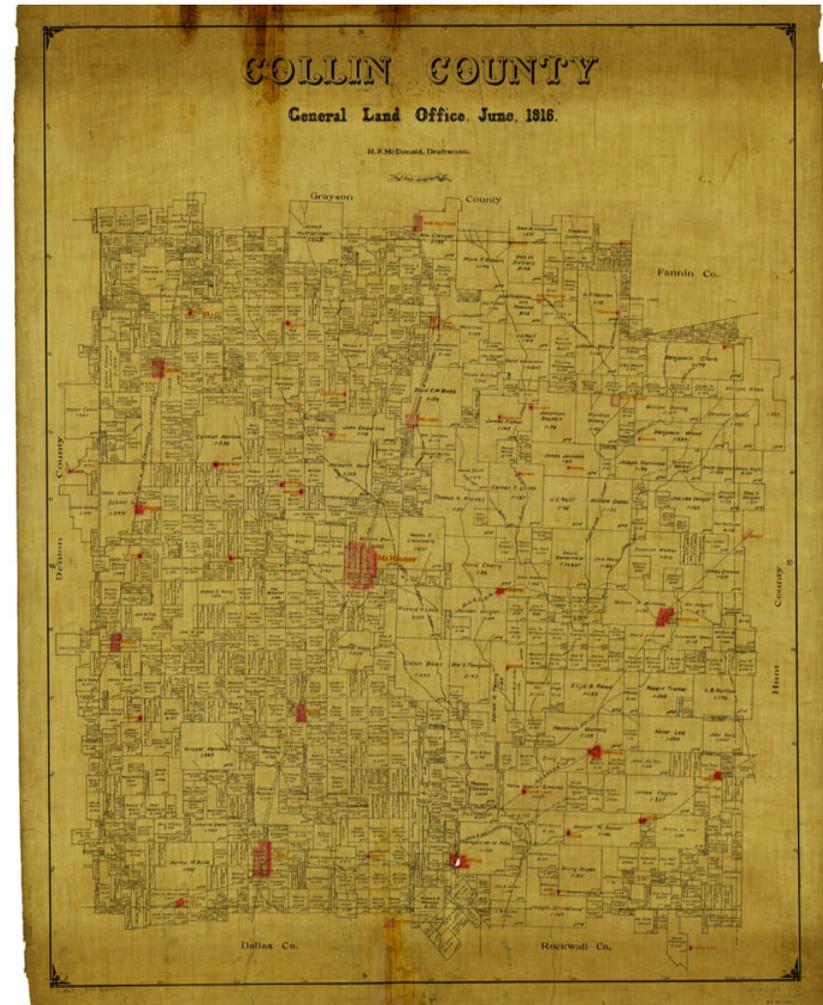
The Stratford Estates neighborhood has a very unique history. The neighborhood identified as Stratford Estates was established on land originally owned by William Fitzhugh (pictured left) and Martha McBride. After Texas won its independence from Mexico in 1836, the Republic of Texas made land available through headrights and military land grants. Before 1900, the government used land to secure and pay off debt, reward veterans (like Colonel William Fitzhugh), encourage economic development, and finance public schools.

In 1854, William Fitzhugh received a land grant of 443 acres and in 1857, Martha McBride received a land grant of 3,165 acres. The land originally granted to William Fitzhugh represents the present-day subdivisions of Cloisters 1, Cloisters 2, Cloister 4, The Castlery, Dallas North Estates 14, Greenway Court, and Collin Greene Condominiums. The land originally granted to Martha McBride includes a portion of Cloisters 4 and Prairie Creek Estates 1.

Throughout the years, the land originally granted to William Fitzhugh and Martha McBride exchanged hands to some of Plano's well-known families such as the Haggard Family and the Hunt Family.

In 1971, Joe Marchman developed the very first subdivision known as The Cloisters. Between 1971 and 1993, seven more subdivisions were established making up the present-day Stratford Estates Neighborhood. *Please see Appendix F for more historical details regarding the development of Stratford Estates.*

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Collin County – June 1916

Stratford Estates Neighborhood Vision

The residents of the Stratford Estates neighborhood envision:

- A highly desirable, safe neighborhood with a strong sense of community pride that can evolve gracefully while keeping its existing charm and beauty,
- A neighborhood that reflects and respects the individuality of all the residents,
- A neighborhood where the residents maintain a neat, orderly, clean, quiet environment in which residents can live in peace and safety,
- A neighborhood where the residents and the City of Plano cooperate to preserve and improve the neighborhood's assets and infrastructure,
- A neighborhood where productive communication and active involvement are established to achieve its goals, and
- A neighborhood that works together to keep the area viable for years to come.

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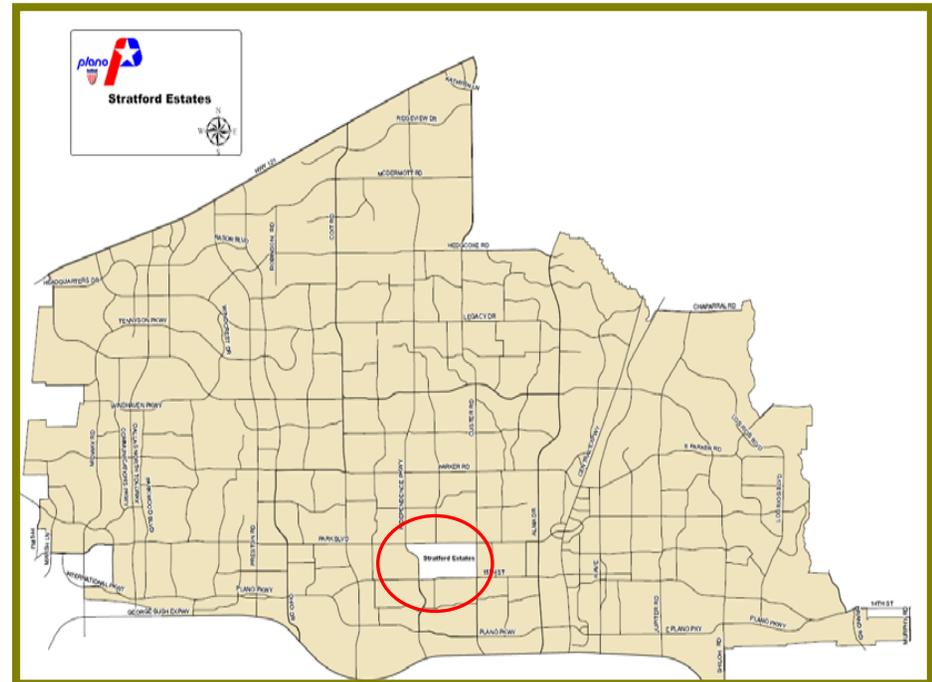
Neighborhood Description

Boundaries

The Stratford Estates neighborhood is located at the southeast corner of Park Boulevard and Independence Parkway. *Please see Appendix D.* The neighborhood boundaries are West Park Boulevard to the north, 15th Street to the south, Custer Road to the east, and Independence Parkway to the west.

Zoning

The Stratford Estates neighborhood includes 808 homes and retail/office developments (business centers), which occupy the southwest and southeast corners of the neighborhood ([PD-124/O-1](#) and [PD-94 R](#)). The Stratford Estates neighborhood is zoned single-family residential ([SF-9](#)), the Greenway Courts subdivision is zoned single-family residential ([SF-6](#)), and the Collin Greene Condominiums is zoned multifamily residential ([MF-2](#)). The difference in the single-family residential zoning is lot size; SF-9 (lots no smaller than 9000 square feet) residential lots are bigger than SF-6 (lots no smaller than 6000 square feet) residential lots. The neighborhood also includes a specific use permit [S-32](#) (Day care center) on Kimberly Lane and a specific use permit [S-208](#) (Drive-in restaurant) in the southeast corner of the neighborhood. *Please see Appendices B and C for details and zoning descriptions.*



Land Use

The Stratford Estates neighborhood consists of seven subdivisions: Cloisters 1, Cloisters 2, Cloisters 4, Dallas North Estates 14, The Castlery, Prairie Creek Estates 1, Greenway Court, and the Collin Greene Condominiums. *Please see Appendix C for subdivision details.*

Stratford Estates does not surround a community feature such as a neighborhood park or school. However, the City of Plano acquired 1.86 acres of land (located at the southwest corner of Park Boulevard and Custer Road) and designated it as Rustic Park in 1976. *Please see Appendix C for a timeline on residential development.*

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Population and Demographics

Census data for the Stratford Estates neighborhood show a slight decline in population over the past 18 years. The population change could be related to younger residents waiting longer to have children and/or baby boomers becoming empty nesters.

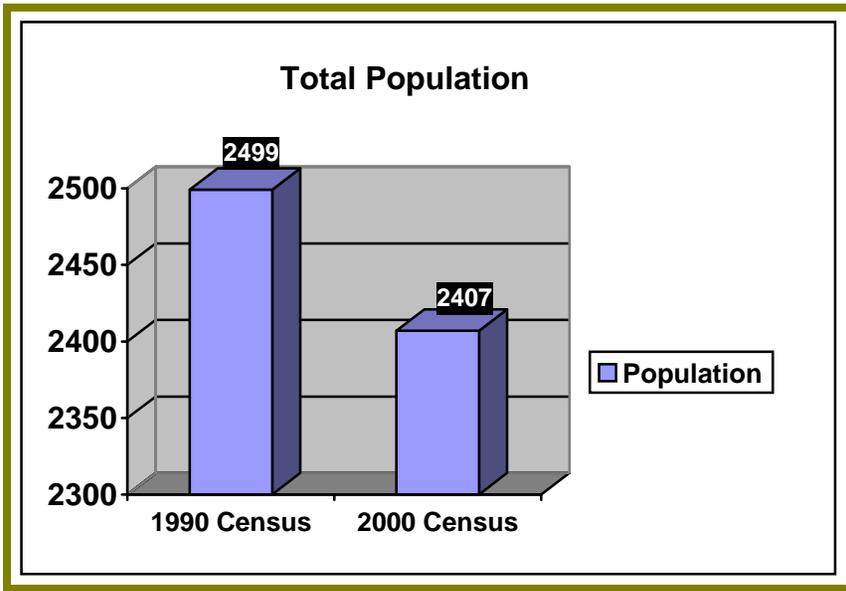


Table 1

Comparing the 1990 and 2000 Census data, occupied households increased from 842 to 906. Owner occupied households increased 10.1% (766 households in 1990 to 843 households in 2000) and renter occupied households decreased 17.1% (76 households in 1990 to 63 households in 2000). *Please see Appendix G and Table 2 below for details.*

The Stratford Estates neighborhood consists of 808 single-family housing units and 120 multifamily housing units (Collin Greene Condominiums). The neighborhood has a much higher percentage of single-family homes (87.1%) as compared to 69.6% of all housing units in Plano. *Please see Table 3 for more details.*

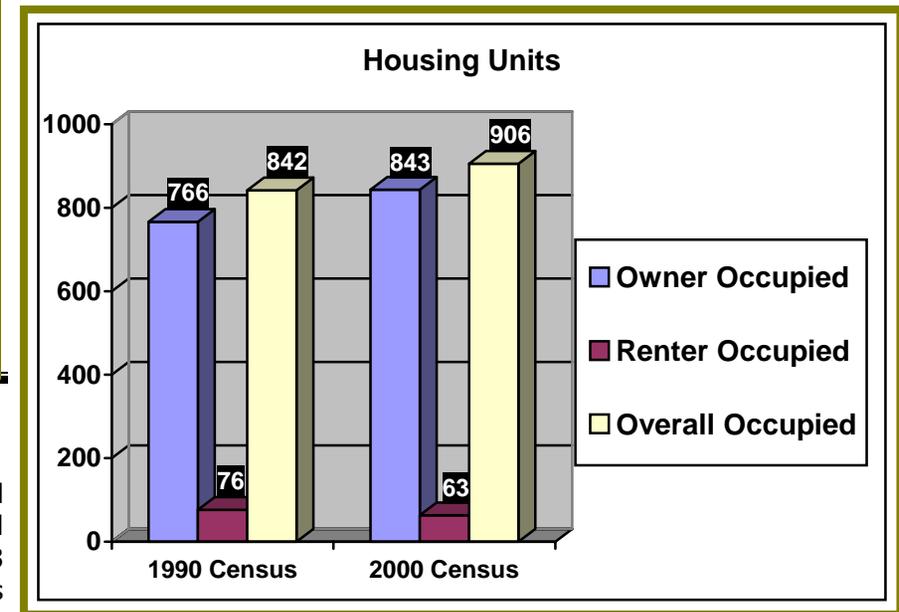


Table 2

Stratford Estates represents longevity and commitment to home ownership. In fact, 69% of survey respondents have lived in the neighborhood for more than 10 years, 12% of respondents have lived here for 6-10 years, and 15% have lived in the neighborhood 1-5 years. *Please see Appendix A for more details.*

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Population and Demographics *continued*

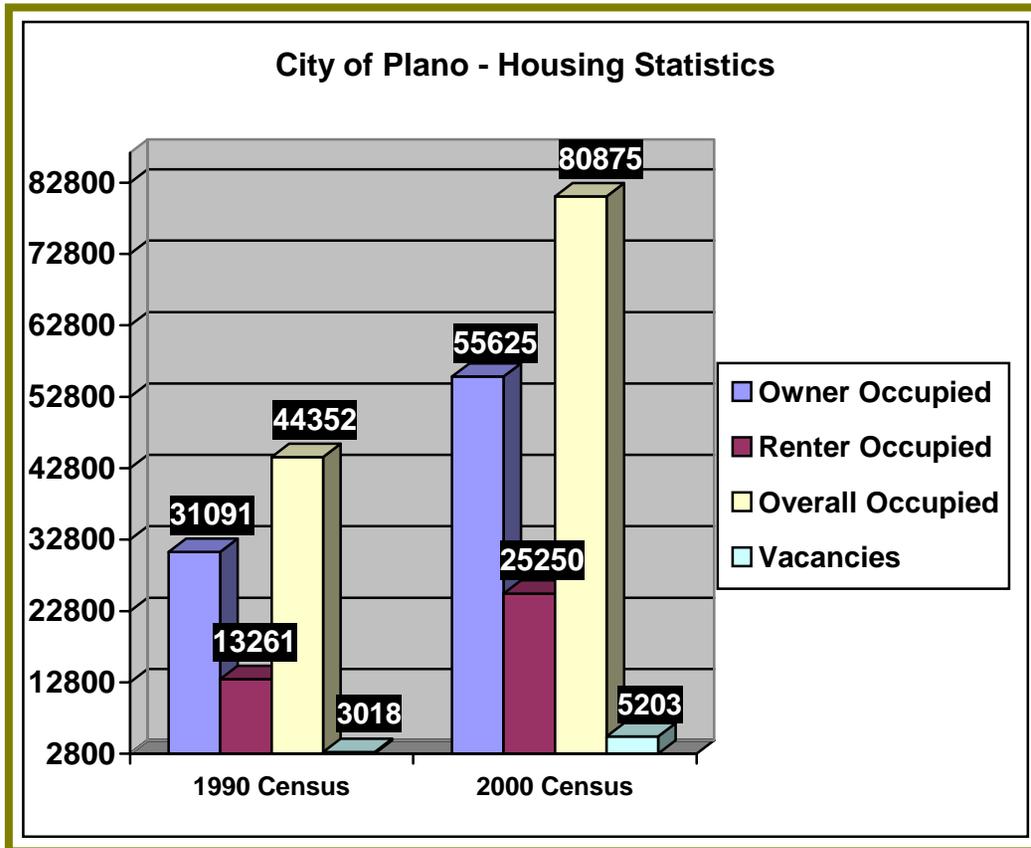


Table 3

The 1990's were a decade of tremendous growth for Plano. The city added over 93,000 people and almost 40,000 housing units between 1990 and 2000. *Please see Table 3 for more details.*

Respectively, the Stratford Estates Neighborhood's total housing units increased from 862 to 921 between 1990 and 2000, but the neighborhood population did not remain consistent with this trend. Between 1990 and 2000, the neighborhood population declined from 2,499 to 2,407. *Please see Tables 1 and 2, and Appendix G for more details.*

Population and Demographics *continued*

According to the 1990 and 2000 Census data, Stratford Estates is becoming more diverse. Corresponding to overall population decline, the 1990 Census data show neighborhood population as 2% black, 92.4% white, 3% Hispanic, 2.5% Asian, and 0.8% Alaska Native/American Indian. The 2000 Census shows the population as 2% black, 86% white, 4.6% Hispanic, 6.1% Asian, and 0.2% Alaska Native/American Indian. Ascending demographic groups include Hispanics and Asians while other demographics (i.e. whites) are declining. *Please see Appendix G and Table 4 for more details.*

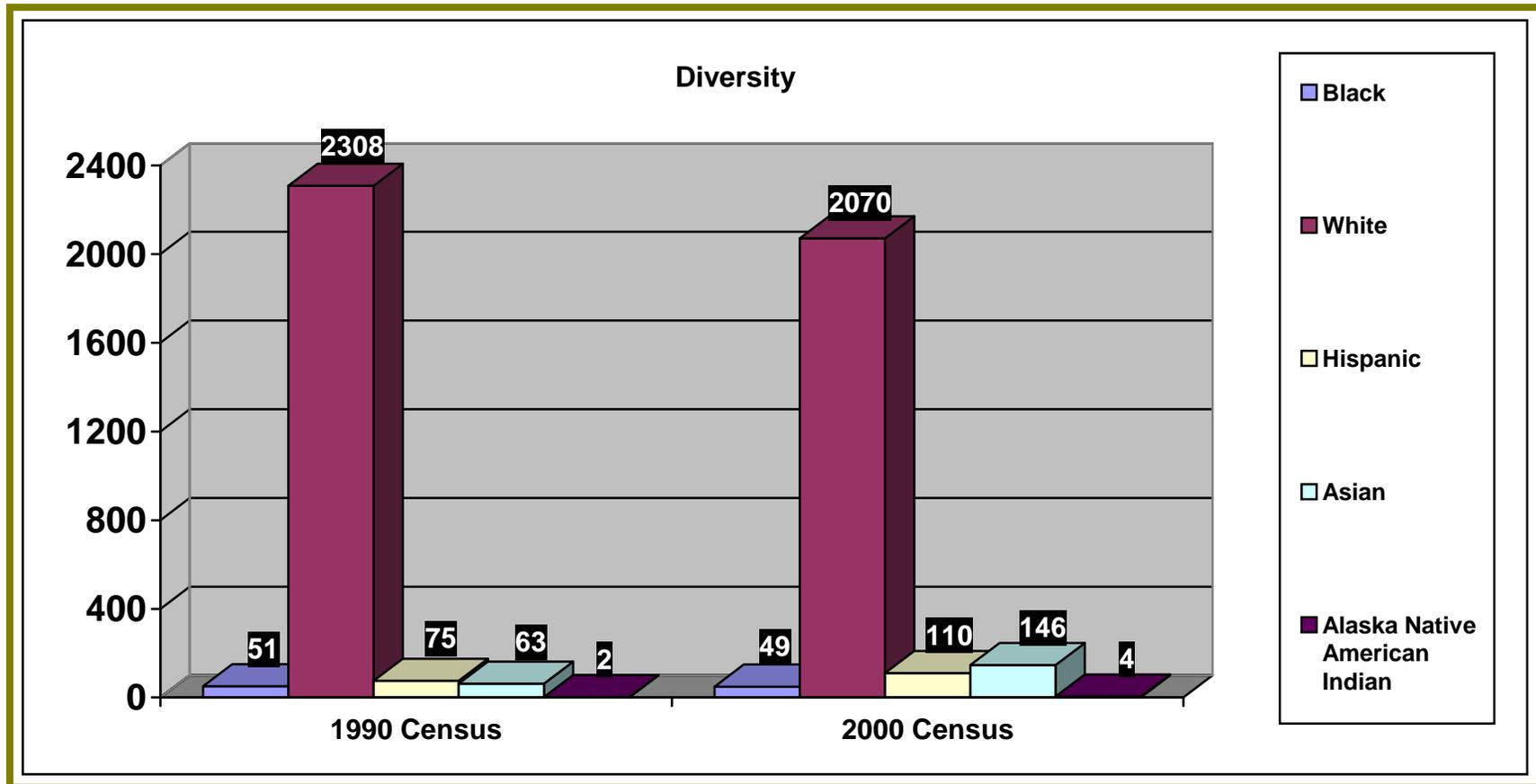


Table 4

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Population and Demographics *continued*

Similar to trends for the City of Plano, the Stratford Estates neighborhood has an aging population. Neighborhood residents ranging from 55 to 64 years old increased 80% (from 225 to 405 people) and residents over 64 years old increased 121.1% (from 114 to 252 people) between 1990 and 2000. Compatible with trends of an aging population, school age children ranging from 10 to 14 years old decreased 25.7% (from 214 to 159) and children ranging from 15 to 19 years old decreased 45.4% (from 282 to 154) between 1990 and 2000. Likewise, the neighborhood's young adult population ranging from 20 to 24 years old decreased 32.8% (from 125 to 84) and people ranging from 25-44 years old decreased 15.9% (from 743 to 625) between 1990 and 2000. *Please use Tables 5 and 6 below, and Appendix G to compare age distribution changes for the Stratford Estates Neighborhood.*

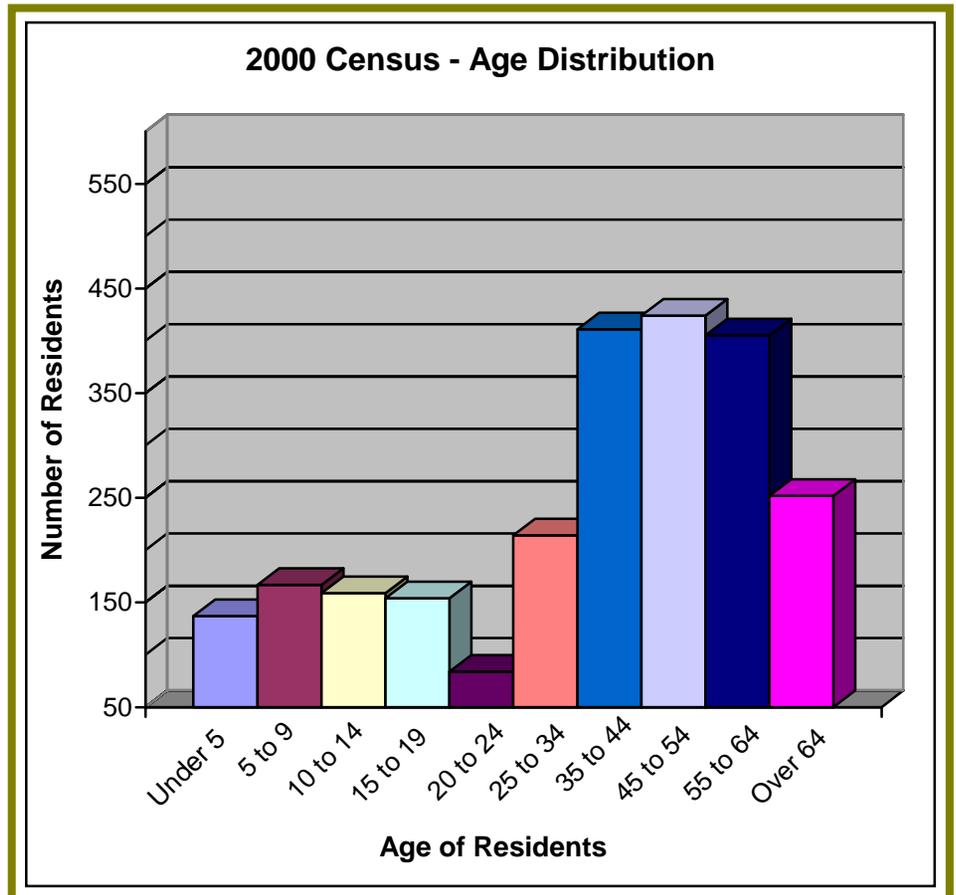
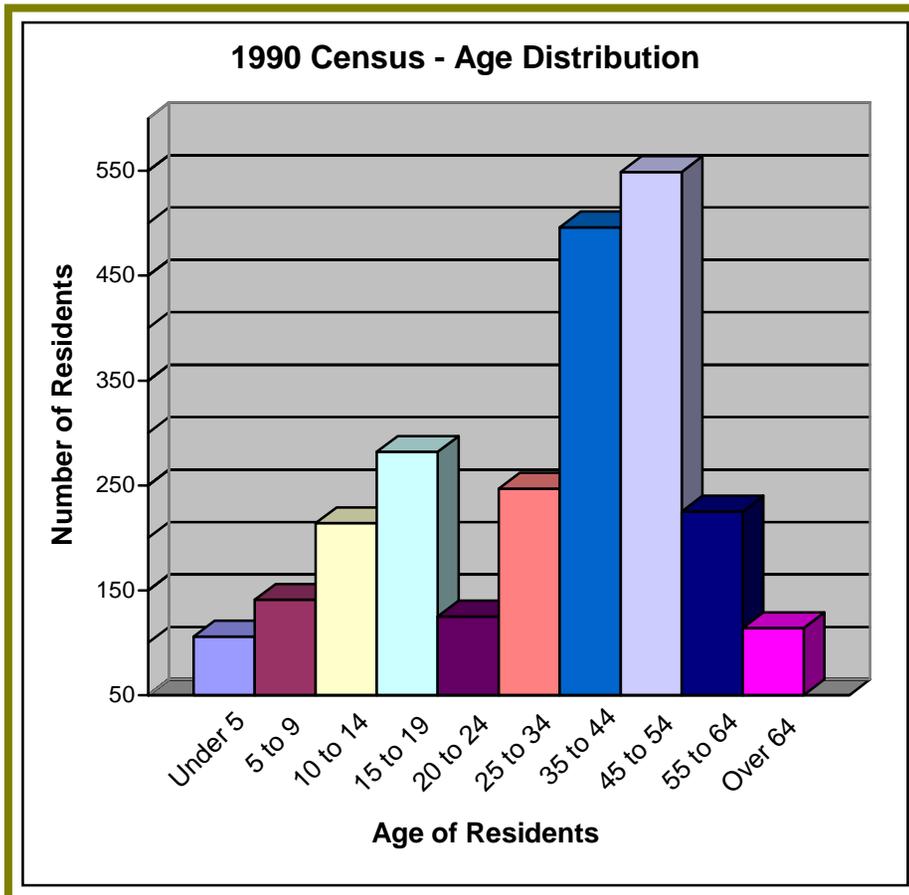


Table 5

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Table 6

Neighborhood Maintenance and Beautification

Homes in Stratford Estates were built in the early 1970s, 80s, and into the early 90s. The first subdivision, Cloisters 1, developed in 1971. By 1976, most of the neighborhood's single-family development was complete. In 1981, the Collin Greene Condominiums were developed and in 1993, this neighborhood was built out with the development of the Greenway Court subdivision. *Please see Appendix C for details.*

Because of rapid growth and development in Plano in the 1970s, most of the housing stock in this neighborhood is now 35 to 40 years old. As expected, the natural aging process of homes can contribute to the appearance of decline. Nevertheless, 47% of survey respondents feel the neighborhood is well-maintained and 53% of respondents feel the neighborhood's infrastructure (sidewalks, curbs, streets, and alleys) is in good condition. *Please see Appendix A for survey details.* Although most residents are satisfied with overall neighborhood conditions, residents feel it is necessary to take a proactive approach to address potential maintenance problems. Therefore, Stratford Estates developed goals and objectives to prolong the neighborhood's character and charm, which will also ensure ongoing sustainability and vitality.



GOAL 1: Establish and maintain a level of property maintenance that reflects community cohesiveness while adhering to the city's property standards.

1. **OBJECTIVE:** Establish a committee to work with Property Standards staff to inform residents about city standards and available resources to prevent the decline of property conditions.

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Neighborhood Maintenance and Beautification *continued*

Stratford Estates residents pictured on the neighborhood Walk-Through in April 2008.
Below are examples of infrastructure concerns discovered during the walk-through.



GOAL 2: Maintain the infrastructure of the Stratford Estates neighborhood.

1. **OBJECTIVE:** Compile and maintain a neighborhood inventory of streets, sidewalks, curbs, and alleys that are in need of repair and convey this information to city staff to initiate these repairs when funds are available.

GOAL 3: Improve the overall image of the Stratford Estates neighborhood.

1. **OBJECTIVE:** Encourage individual homeowner lawn/landscaping improvements with periodic recognition awards.
2. **OBJECTIVE:** Promote home and neighborhood projects that will improve the appearance of the neighborhood.

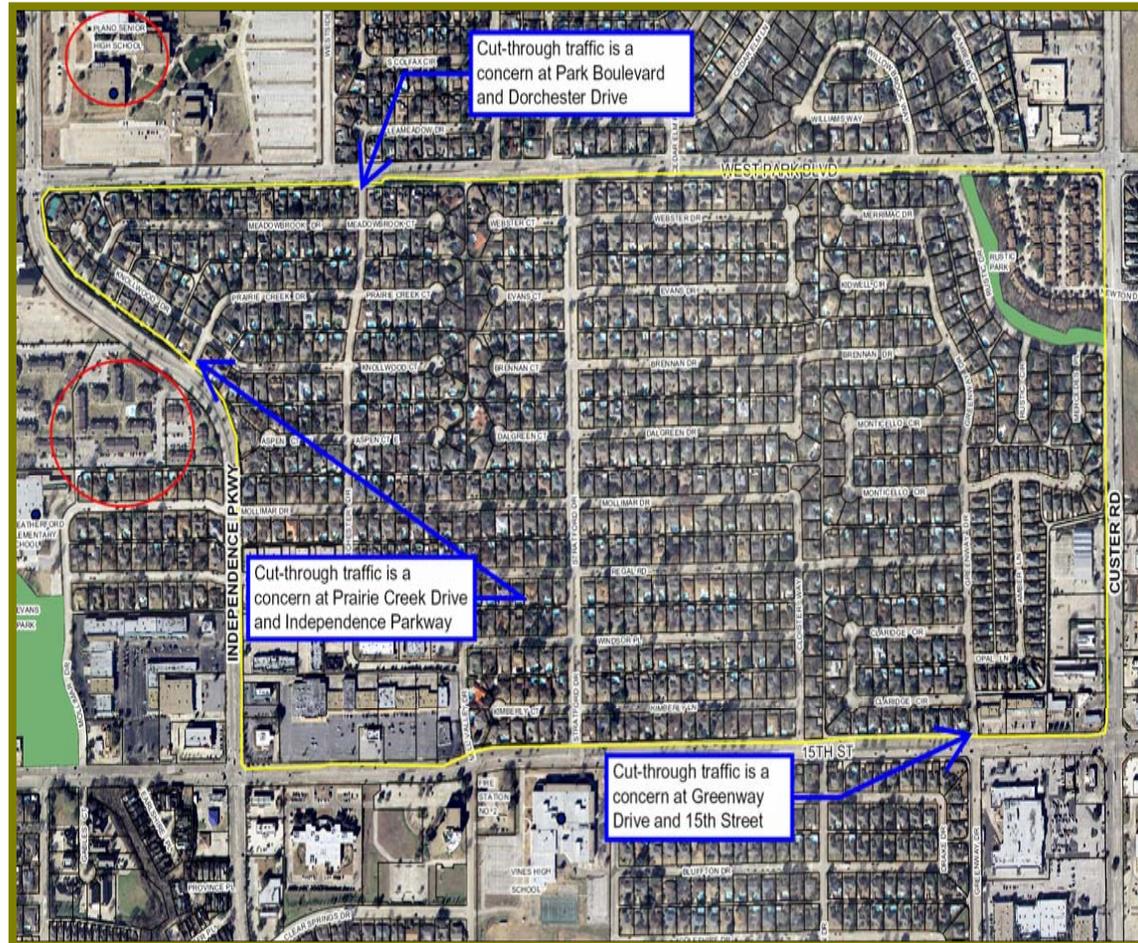
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Neighborhood Transportation

In March 2008, the Stratford Estates neighborhood met with the Safe Streets Program Engineer and Neighborhood Police Officers to discuss their concerns regarding traffic circulation and illegal parking.

At the meeting, residents expressed concerns with high-speed cut-through traffic presumed to be a result of commuters from Plano Senior High (north of the neighborhood) and Cornerstone Ranch Apartments (located west of the neighborhood). Residents suspect commuters from these locations may drive southbound on Dorchester Drive from Park Boulevard and eastbound on Prairie Creek Drive from Independence Parkway to gain quick access to other major arterials surrounding Stratford Estates. Transportation Engineers will investigate these concerns by conducting a traffic analysis.

These locations are only two examples of potential causes of cut-through traffic. Cut-through traffic can sometimes impact the sense of safety for residents in this neighborhood. Therefore, Stratford Estates established a goal and objective to alleviate (if not eliminate) this hazard and restore peace of mind for the families in the area.



GOAL 1: Reduce cut-through and high-speed traffic in the Stratford Estates neighborhood.

1. **OBJECTIVE:** Work with Transportation Engineering to develop a plan that will divert or alleviate cut-through traffic at specified neighborhood entryways.

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Neighborhood Transportation *continued*



Furthermore, the Stratford Estates neighborhood would like to see more police enforcement to combat speeders, stop sign runners, and illegal parking on residential streets. During the March 28 neighborhood meeting, Neighborhood Police Officers informed residents of ways to address these concerns. Neighborhood Police Officers also educated residents on various types of violations. Pictured left is an example of an illegally parked vs. legally parked vehicle. Residents from Stratford Estates would like to heighten the awareness of various traffic violations and prevent them from becoming a severe problem. As a result, the neighborhood established the following objectives to implement a process of education and awareness. See municipal code parking ordinance:

[Chapter 12 Article V Sec. 12-99](#)

2. **OBJECTIVE:** Initiate [Special Enforcement Requests](#) (SERs) to address isolated traffic violations throughout the neighborhood.
3. **OBJECTIVE:** Initiate the [Safe Streets Program](#) and its subsequent petitioning process (if applicable) to install signage and/or [calming devices](#) (such as speed cushions) to reduce speeding on residential streets.

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Neighborhood Safety



Stratford Estates is proud of its family oriented neighborhood. With the exception of minor traffic concerns, Stratford Estates is a very safe place to live. At the neighborhood meeting, Neighborhood Police Officers reported between October 2007 and March 2008 the neighborhood had zero robberies, zero homicides, zero sexual assaults, and few vehicular and home burglaries. Furthermore, 61% (combining "agree" and "strongly agree") of survey respondents feel comfortable walking the neighborhood at night and 61% (combining "disagree" and strongly "disagree") of survey respondents do not feel crime is a serious problem in the neighborhood. *Please see Appendix A for details.* Therefore, in an effort to ensure ongoing neighborhood safety for years to come, the neighborhood established goals and objectives geared towards resident education and safety precautions.

GOAL 1: Increase neighborhood awareness of crime prevention and safety tips.



1. **OBJECTIVE:** Establish a [Neighborhood Crime Watch](#) Group.
2. **OBJECTIVE:** Communicate safety tips by circulating a semi-annual newsletter or e-newsletter.



Stratford Estates would like improved neighborhood street lighting, which will enhance the neighborhood's sense of security. The Neighborhood Planning Team (area residents and city staff) discussed the [general streetlight policy](#) and the petitioning process, which states residents must provide a 5' foot utility easement and pay two-thirds (2/3) of the installation costs if existing street light spacing requirements (600 foot intervals) have been met. *Following an investigation by City Engineers, if spacing requirements have NOT been met, the City will incur the cost of street light installation.*

GOAL 2: Reduce potentially hazardous conditions (such as poorly lit streets) in Stratford Estates.

1. **OBJECTIVE:** Initiate the [petitioning process](#) to install additional street lights throughout the neighborhood.

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Rustic Park

Residents of the Stratford Estates neighborhood expressed a strong desire to enhance Rustic Park and establish this area as a gathering place for the neighborhood. Several years ago, Cub Scout Pack 285 adopted Rustic Park and planted trees. The longtime residents of the [Rustic Park Homeowners Association](#) committed to nurturing these trees. At a neighborhood meeting with the Parks Department, residents began discussing ways to improve Rustic Park. Because Rustic Park, which abuts Pittman Creek, does not have sufficient land for playground equipment or a variety of seating areas, the residents decided to explore alternatives to improve this common area in the neighborhood. Furthermore, following several discussions, the Neighborhood Planning Team was informed that most objectives identified below simply require a work order to implement (such as anchoring picnic tables, seeding the turf with Fescue seed, tree trimming and removing tree and limb vegetation posing a public risk). However, some projects may require additional consideration due to the availability of funds, and overall feasibility of requests. Nevertheless, Stratford Estates established goals and objectives that demonstrate a desire to improve the park's appearance and sustain it as an inviting rest area for picnickers and pedestrians.



GOAL 1: Establish Rustic Park as a gathering place and improve its overall appearance.

1. **OBJECTIVE:** Anchor picnic tables/benches in Rustic Park. Make improvements to support outdoor gatherings and activities.
2. **OBJECTIVE:** Improve the turf at Rustic Park.

(NOTE: Park maintenance staff intends to seed Rustic Park with [Fescue](#) grass in October. It will be necessary to reseed each fall because Fescue will go dormant in mid-summer because of heat)

3. **OBJECTIVE:** Trim trees and work to reduce vegetation clutter (such as fallen trees and limbs) that poses a public risk.



Rustic Park *continued*



GOAL 2: Keep Pittman Creek free of litter and debris.

1. **OBJECTIVE:** Work with Cub Scout Pack 285 and other community groups on park and creek cleanup projects.
2. **OBJECTIVE:** Participate in the Adopt-a-Creek Program for Pittman Creek.
3. **OBJECTIVE:** Provide waste pickup/disposal station(s) for pet (dog) owners.

Since the initiation of the planning process, members of the Collin Greene Condominiums HOA Board (located at the southwest corner of Park Boulevard and Custer Road) met with city engineers to address erosion concerns. City Engineers discussed possible solutions (such as gabion rock walls) to remedy the erosion concerns for the homeowners living in the Collin Green Condominiums. City Engineers and the Parks Department assessed this section of Pittman Creek abutting Rustic Park and determined the current erosion had not reached a point of threatening improvements in the park area and overall conditions did not justify erosion control improvements at this time. City staff will continue to monitor the conditions of Pittman Creek adjacent to Rustic Park.

GOAL 3: Address erosion concerns in Pittman Creek.

1. **OBJECTIVE:** Work with city engineers to assess Pittman Creek erosion issue and determine possible solutions.

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Community Involvement



Continued success following the Stratford Estates planning process largely depends on the level of commitment and involvement from homeowners residing within this neighborhood. Participation and commitment to the process was the underlying message and principle throughout this planning effort. The neighborhood took ownership of this effort and acknowledged the importance of building a strong foundation on teamwork and communication. Therefore, the neighborhood established goals and objectives committed to community involvement, which will drive neighborhood cohesiveness for years to come.

GOAL 1: Create an environment that encourages collaborative problem solving, demonstrates neighborly relationships, and promotes a sense of belonging for all residents.

1. **OBJECTIVE:** Create a neighborhood association to act as a foundation and catalyst for neighborhood initiatives.
2. **OBJECTIVE:** Enhance the [Stratford Estates Yahoo Group](#), (an online discussion forum set up by residents).
3. **OBJECTIVE:** Foster more neighborhood interaction by hosting neighborhood-wide events such as National Night Out, the Neighborhood Dumpster Program, or an annual garage sale.
4. **OBJECTIVE:** Promote a broader recognition of the Stratford Estates neighborhood by installing sign toppers throughout the neighborhood.
5. **OBJECTIVE:** Enhance the ability to communicate information to residents by creating a neighborhood association Web site and promoting this Web site through mailings, word of mouth, and leaflets in utility bills.

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Implementation Matrix

NEIGHBORHOOD MAINTENANCE AND BEAUTIFICATION		Responsibility	Cost
GOAL: Establish and maintain a level of property maintenance that reflects community cohesiveness while adhering to the city's property standards.			
OBJECTIVE: Establish a committee to work with Property Standards staff to inform residents about city standards and available resources to prevent the decline of property conditions.		Residents / Property Standards	N/A / Staff Time
GOAL: Maintain the infrastructure of the Stratford Estates neighborhood.			
OBJECTIVE: Compile and maintain a neighborhood inventory of streets, sidewalks, curbs, and alleys that are in need of repair and convey this information to City staff to initiate these repairs when funds are available.		Residents	N/A
GOAL: Improve the overall image of the Stratford Estates neighborhood.			
OBJECTIVE: Encourage individual homeowner lawn/landscaping improvements with periodic recognition awards.		Residents	N/A
OBJECTIVE: Promote home and neighborhood projects that will improve the appearance of the neighborhood.		Residents	N/A

NEIGHBORHOOD TRANSPORTATION		Responsibility	Cost
GOAL: Reduce cut-through and high-speed traffic in the Stratford Estates neighborhood.			
OBJECTIVE: Work with Transportation Engineering to develop a plan that will divert or alleviate cut-through traffic at specified neighborhood entryways.		Residents / Transportation Engineering	Determined by course of action
OBJECTIVE: Initiate Special Enforcement Requests (SERs) to address isolated traffic violations throughout the neighborhood.		Residents / Police	N/A / Staff Time
OBJECTIVE: Initiate the Safe Streets Program and its subsequent petitioning process (if applicable) to install signage and/or calming devices (such as speed cushions) to reduce speeding in alleys and on residential streets.		Residents / Transportation Engineering	Street-\$85/sign Alley-\$300/set Traffic devices-\$50K/set

NEIGHBORHOOD SAFETY	Responsibility	Cost
GOAL: Increase neighborhood awareness of crime prevention and safety tips.		
OBJECTIVE: Establish a Neighborhood Crime Watch Group.	Residents / Crime Prevention Unit	Approx. \$150 for signs
OBJECTIVE: Communicate safety tips by circulating a semi-annual newsletter or e-newsletter.	Residents	N/A
GOAL: Reduce hazardous conditions (such as poorly lit streets) in Stratford Estates.		
OBJECTIVE: Initiate the petitioning process to install additional street lights if street light spacing requirements have been met.	Residents / Engineering	Approx. \$5650 (residents pay 2/3 of cost)

NEIGHBORHOOD PARK	Responsibility	Cost
GOAL: Establish Rustic Park as a gathering place and improve its overall appearance.		
OBJECTIVE: Anchor picnic tables and chairs in Rustic Park. Make improvements to support outdoor gatherings and activities.	Park Maintenance	Staff Time
OBJECTIVE: Improve the turf at Rustic Park.	Park Maintenance	\$1000 annually
OBJECTIVE: Trim trees and work to reduce vegetation clutter.	Park Maintenance	Staff Time
GOAL: Keep Pittman Creek free of litter and debris.		
OBJECTIVE: Work with Cub Scout Pack 285 and other community groups on park and creek cleanup projects.	Residents	N/A
OBJECTIVE: Participate in the Adopt-a-Creek Program for Pittman Creek.	Residents	\$35/sign
OBJECTIVE: Provide waste pickup/disposal station(s) for pet (dog) owners.	Park Maintenance	\$375 + \$300/year for maintenance
GOAL: Address erosion concerns in Pittman Creek.		
OBJECTIVE: Work with city engineers to assess Pittman Creek erosion issue and determine possible solutions.	Residents / Engineering	Existing CIP Budget (if feasible)

COMMUNITY INVOLVEMENT	Responsibility	Cost
GOAL: Create an environment that encourages collaborative problem solving, demonstrates neighborly relationships, and promotes a sense of belonging for all residents.		
OBJECTIVE: Create a neighborhood association to act as a foundation and catalyst for neighborhood initiatives.	Residents	N/A
OBJECTIVE: Enhance the Stratford Estates Yahoo Group , (an online discussion forum set up by residents).	Residents	N/A
OBJECTIVE: Foster more neighborhood interaction by hosting neighborhood-wide events such as National Night Out, the Neighborhood Dumpster Program, or an annual garage sale.	Residents	N/A
OBJECTIVE: Promote a broader recognition of the Stratford Estates Neighborhood by installing sign toppers throughout the neighborhood.	Residents / Neighborhood Planning	Approx. \$2000
OBJECTIVE: Enhance the ability to communicate information to residents by creating a neighborhood association Web site and promoting this Web site through mailings, word of mouth, and leaflets in utility bills.	Residents	Approx. \$100 annually

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Appendix A – Neighborhood Survey

1. **City Government is responsive to our needs as a neighborhood**
 - a. 45% Agree
 - b. 31% Neutral
 - c. 10% Strongly Agree
 - d. 9% Disagree
 - e. 1% Strongly Disagree

2. **Overall, my neighborhood is free of litter and debris**
 - a. 49% Agree
 - b. 17% Neutral
 - c. 16% Disagree
 - d. 11% Strongly Agree
 - e. 6% Strongly Disagree

3. **Overall, my neighborhood is well-maintained**
 - a. 47% Agree
 - b. 17% Neutral
 - c. 16% Strongly Agree
 - d. 15% Disagree
 - e. 3% Strongly Disagree

4. **I feel comfortable walking in my neighborhood at night**
 - a. 43% Agree
 - b. 18% Strongly Agree
 - c. 16% Neutral
 - d. 15% Disagree
 - e. 3% Strongly Disagree

5. **Crime is a serious problem in my neighborhood**
 - a. 48% Disagree
 - b. 21% Neutral
 - c. 13% Strongly Disagree
 - d. 12% Agree
 - e. 3% Strongly Agree

6. **Streets, sidewalks, curbs, and alleys (if applicable) in my neighborhood are in good condition**
 - a. 53% Agree
 - b. 19% Neutral
 - c. 13% Disagree
 - d. 8% Strongly Agree
 - e. 8% Strongly Disagree

Households Surveyed: 808

Overall Survey Respondents: 118

Overall Percentage of Respondents: 15%



[Click HERE for Survey Database!](#)



7. **Do you use DART for transportation?**
 - a. 81% NO
 - b. 22% YES
 - i. 18% Rail
 - ii. 3% Bus
 - iii. 1% On-Call (shuttle service)
8. **In Plano, some home occupations, such as contract construction, auto repair, landscape services, and manufacturing are prohibited in residential areas. Have you noticed any of these businesses being operated out of homes in your neighborhood?**
 - a. 86% NO
 - b. 10% YES
9. **Do you feel high-speed traffic and/or stop sign runners impact neighborhood safety?**
 - a. 53% YES
 - b. 47% NO
10. **Is flooding an issue in your neighborhood?**
 - a. 88% NO
 - b. 10% YES
11. **Do parks in your area meet your recreational needs?**
 - a. 51% YES
 - b. 42% NO
12. **Do you feel the parks in your area serve as a focal point or gathering place for your neighborhood?**
 - a. 79% NO
 - b. 12% YES
13. **Do members of your family attend any of the following schools: Vines, Wilson, or Shepard?**
 - a. 80% NO
 - b. 26% YES
 - i. 12% Shepard
 - ii. 8% Vines
 - iii. 6% Wilson
14. **Have you traveled to a neighboring city to use their parks and/or facilities?**
 - a. 62% NO
 - b. 37% YES

15. **How long have you lived in your neighborhood?**
 - a. 69% > 10 years
 - b. 15% 1-5 years
 - c. 12% 6-10 years
 - d. 1% < 1 year

16. **What do you like most about your neighborhood?**
 - a. 65% - Location/proximity
 - b. 53% It's quiet
 - c. 31% Neighborly (friendly)
 - d. 23% Close to work or school
 - e. 8% Other

17. **What improvements would you like to see in your neighborhood?**
 - a. 38% Landscaping
 - b. 37% Other (mostly noted as alley improvements)
 - c. 25% Street/sidewalk repair
 - d. 12% No improvements

18. **In your neighborhood, what type of crimes concern you the most?**
 - a. 49% Juvenile mischief
 - b. 43% Home Burglary/Robbery
 - c. 36% Vandalism
 - d. 36% Auto Burglary/Theft
 - e. 7% Other
 - f. 5% Drugs

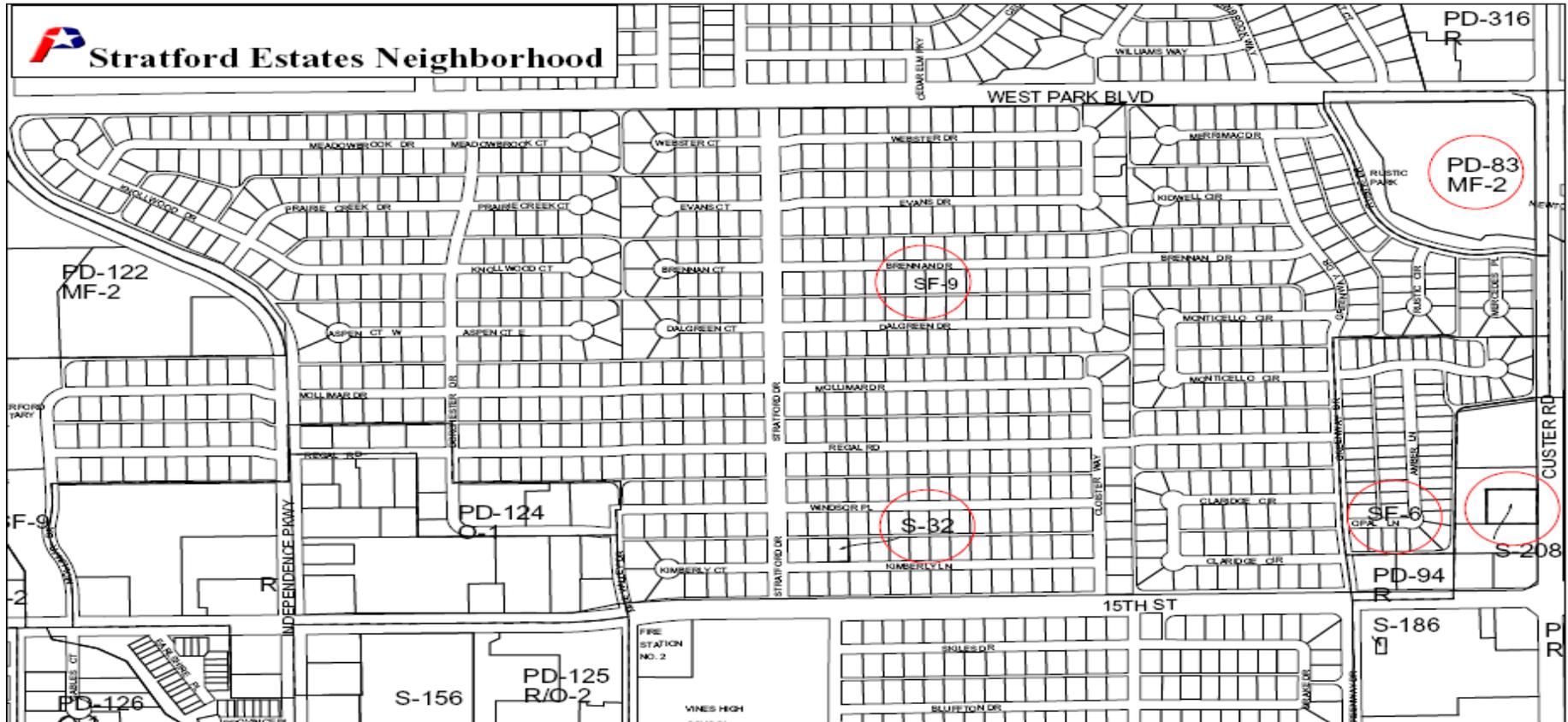
19. **How do you and your family members travel to work, school, and other places from your neighborhood?**
 - a. 96% Automobile
 - b. 17% Walk
 - c. 11% DART Light Rail
 - d. 5% Bicycle
 - e. 5% Bus/mass transit

20. **Would any of the following increase your desire to walk/bicycle in your neighborhood?**
 - a. 42% Improved lighting
 - b. 39% Pedestrian & bike pathways
 - c. 18% Improved access to parks
 - d. 12% Speed bumps
 - e. 12% Pedestrian crosswalks
 - f. 4% Sidewalks

21. **On average, how often do you or someone who lives with you visit a city park or recreation area near your neighborhood?**
- a. 45% A few times a year
 - b. 19% Weekly
 - c. 14% Monthly
 - d. 13% Never
 - e. 7% Daily
22. **When visiting a park, what amenities do you or persons in your household use?**
- a. 68% Walking/jogging trail
 - b. 35% Benches
 - c. 35% Play ground
 - d. 31% Picnic tables
 - e. 16% Shelter
 - f. 14% Other
 - g. 6% Backstop
 - h. 5% Multi-use court
 - i. 3% Barbeque Grill
23. **What features might make a park more attractive to you or persons in your household?**
- a. 53% Walking/jogging trail
 - b. 47% Landscaped areas
 - c. 44% Shaded seating areas
 - d. 41% Trees
 - e. 21% Shade structures
 - f. 17% More seating options
 - g. 10% Decorative park entry points
 - h. 12% Other
 - i. 3% Larger shelter
24. **How has school traffic affected overall safety and transportation in your neighborhood?**
- a. 37% It hasn't
 - b. 21% A little bit
 - c. 13% Somewhat
 - d. 12% Moderately
 - e. 8% Tremendously

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Appendix B – Zoning Map



Specific Use Permits

1. **S-32 – Zoning Case 77-25 – Day Care Center**
 - Not more than six children may be enrolled during any one time period; all classes and sessions shall be scheduled with an minimum of 15 minutes between the end of one class and the beginning of the next class, the only use of the day care center shall be for swimming lessons; and loading and unloading of children shall not be done in the alley.
2. **S-208 – Zoning Case – 92-77 – Drive-in restaurant (Ordinance No. 92-11-27)**
3. **PD-124/O-1 – Zoning Case – 93-106 – Neighborhood Office (Ordinance No. 94-3-17)**
4. **PD-94/R – Zoning Case – 71-28 – Retail (Ordinance No. 71-12-8)**

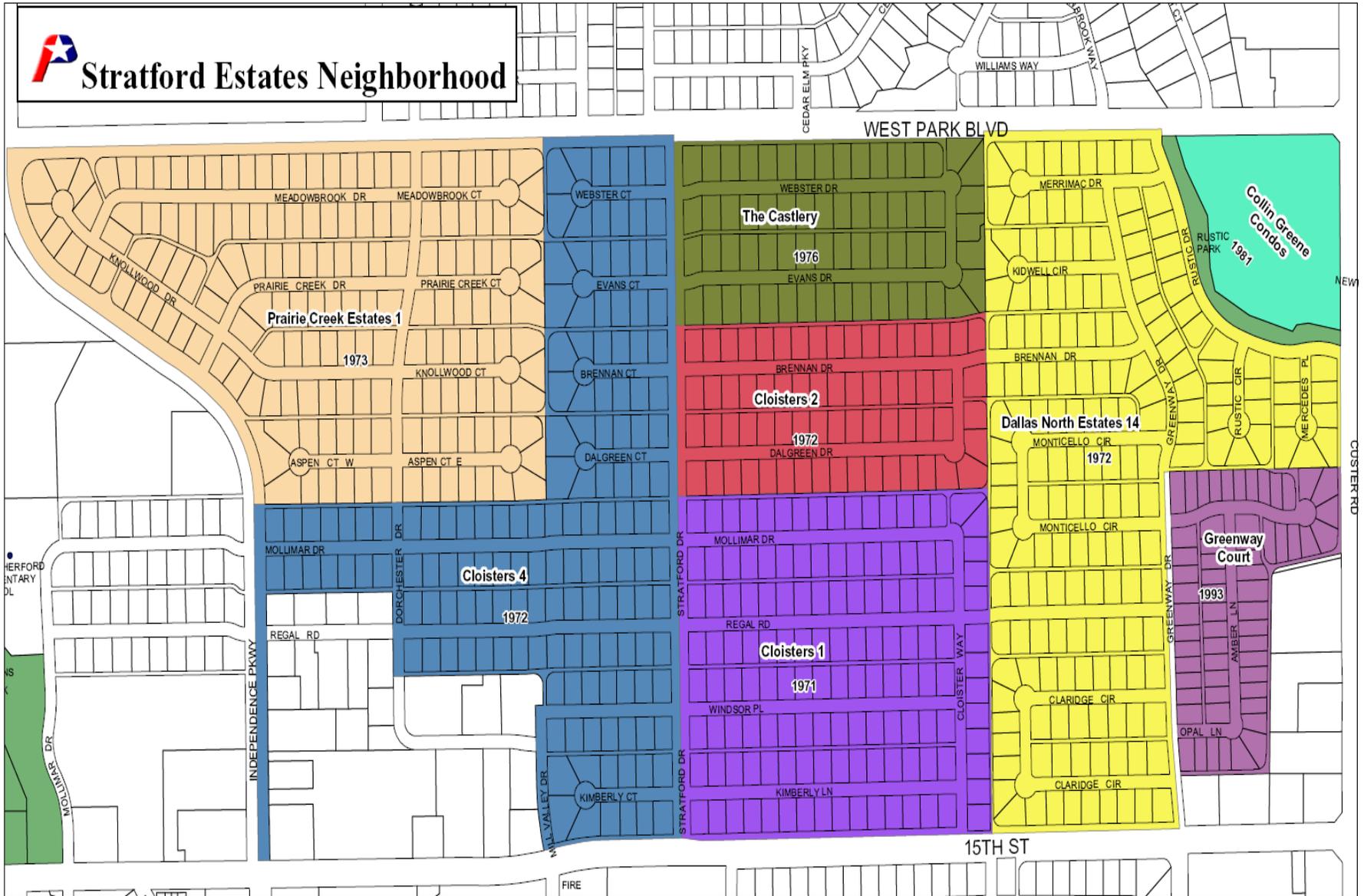
SF-6 minimum of 6000 sq. ft. smaller lot intended for single-family development.

SF-9 minimum of 9000 sq. ft. larger lot intended for single-family development.

MF-2 district is intended to accommodate apartments and condominiums at a density of 18 units per acre.

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Appendix C – Subdivision Map



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Appendix D – Stratford Estates Neighborhood



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Appendix E – Rustic Park Homeowners Association



The voluntary Rustic Park Homeowners Association was formed in 1976. There are approximately 40 homes included in the HOA.

The HOA boundaries are Merrimac Drive to the north, Monticello Circle alley to the south, Greenway Drive to the west, and Mercedes Place to the east.

The Rustic Park Homeowners Association is contained within the boundaries set for the Stratford Estates Neighborhood Planning Project. Rustic Park HOA members play an integral part of the planning project and are committed members of the newly developed voluntary Stratford Estates Neighborhood Association.

Please note that although residents participate interchangeably in these associations, these groups are separate.

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Appendix F – Historical Details

Cloisters 1

It could not be determined who owned the land known as Cloisters 1 between the original land grant and 1971, but the Neighborhood Planning Team was able to discover Joe Marchman developed the land in 1971. This was the first neighborhood addition developed within the William Fitzhugh land grant.

Cloisters 2

Prior to the development of Cloisters 2, Peyton Cooper owned this land. C.R. Haggard owned 35 acres of land west of Cloisters 2, which would include Cloisters 4 and Prairie Creek Estates 1. W.H. and Caroline Hunt owned 69.7 acres of land east of Cloisters 2, which would include Dallas North Estates 14, Collin Green Condominiums, and Greenway Court. W.H. Stephens owned 15.5 acres of land north of Brennan Drive, which would include The Castlery subdivision. In 1972, Cloisters 2 was Joe Marchman's second subdivision development in the neighborhood currently know as Stratford Estates.

Cloisters 4

Research shows William Fitzhugh as an original owner of a portion of the land currently known as Cloisters 4; Martha McBride was the owner of another portion of Cloisters 4. The land was divided in neighborhood additions (also called abstracts), and these abstract boundaries split the neighborhood at the eastern boundary of Prairie Creek Estates 1 and Cloisters 4. Between the original land grant and 1972, C.R. Haggard acquired and owned the land until development by Joe Marchman and Associates in 1972.

Dallas North Estates 14

Dallas North Estates 14 is situated on land originally granted to William Fitzhugh in 1854. Before the Summit Development Co. acquired the land and developed the Dallas North Estates 14 subdivision in 1972, W.H Hunt owned it.

Prairie Creek Estates 1

Prairie Creek Estates is the only other subdivision that was developed on land originally granted to Martha McBride in 1857. Sometime between the original land grant and 1973, C.R. Haggard owned this land. In 1973, Sterling Projects Inc. acquired the land and developed the subdivision currently known as Prairie Creek Estates 1.

Greenway Court

William Fitzhugh was the original owner of the subdivided land currently known as Greenway Court. The W.H. Hunt Trust Estate owned the land until it was developed by the Fairfield Homes at Greenway Court Ltd. in 1993.

Collin Greene Condominiums

William Fitzhugh was the original owner of the portion of land currently known as the Collin Greene Condominiums. The W.H. Hunt Trust Estate owned the land until by George Tannous of the Raldon Corporation developed it in 1981.

Stratford Estates Today

Similar to settlers in the mid-1800s, residents living in this neighborhood established family roots here more than 30 years ago. In fact, 69% of survey respondents have lived in this neighborhood for more than 10 years. Most residents recall the first subdivision being established and actually being able to stand in their yards and see clear to downtown Plano in the early 1970's. Others recall Independence Parkway (formerly known as Armstrong Parkway) being the western boundary of the city. Most Stratford Estates residents have invested in the betterment of their neighborhood and the Plano community. As a result, Plano's rich culture and heritage will continue to thrive.

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Appendix G – Census Data

Stratford Estates Demographics	1990 Census		2000 Census		Change	
	Number	Percent	Number	Percent	Number	Percent
Total Population	2499		2407		-92	-3.7
Gender Distribution						
Male	1210	48.4	1157	48.1	-53	-4.4
Female	1289	51.6	1250	51.9	-39	-3.0
Total Number of Households	842		906		64	7.6
Persons Per Households	2.97		2.66		-0.31	-10.4
Age Distribution						
Under 5 years	106	4.2	137	5.7	31	29.2
5 to 9 years	141	5.6	167	6.9	26	18.4
10 to 14 years	214	8.6	159	6.6	-55	-25.7
15 to 19 years	282	11.3	154	6.4	-128	-45.4
20 to 24 years	125	5.0	84	3.5	-41	-32.8
25 to 34 years	247	9.9	214	8.9	-33	-13.4
35 to 44 years	496	19.8	411	17.1	-85	-17.1
45 to 54 years	549	22.0	424	17.6	-125	-22.8
55 to 64 years	225	9.0	405	16.8	180	80.0
Over 64 years	114	4.6	252	10.5	138	121.1
Median Age	37.0		41.9		4.9	13.2
Ethnicity						
Hispanic	75	3.0	110	4.6	35	46.7
Non-Hispanic	2424	97.0	2297	95.4	-127	-5.2
Race						
<i>Non-Hispanic, one race</i>						
African American or Black	51	2.0	49	2.0	-2	-3.9
American Indian Alaska Native	2	0.8	4	0.2	2	100.0

Stratford Estates Demographics	1990 Census		2000 Census		Change	
Race contd.¹	Number	Percent	Number	Percent	Number	Percent
Asian	63	2.5	146	6.1	83	131.7
Native Hawaiian Other Pacific Islander	0	0.0	0	0.0	0	0.0
Some other race	0	0.0	3	0.1	3	100.0
White	2308	92.4	2070	86.0	-238	-10.3
<i>Non-Hispanic, two or more races</i>						
NDA = No data available for this category during the 1990 Census.	NDA		25	1.0		
Household Tenure						
Occupied Housing Units	842		906		64	7.6
Owner Occupied Housing	766	91.0	843	93.0	77	10.1
Renter Occupied Housing	76	9.0	63	7.0	-13	-17.1
Median Housing Value						
Reported value	119383		139100		19717	16.5
Corrected for Inflation	160398		139100		-21298	-13.3
Housing Vacancy						
Total Housing Units	862		921		59	6.8
Occupied Housing Units	842	97.7	906	98.4	64	7.6
Vacant housing units	20	2.3	15	1.6	-5	-25.0
Age of Housing Units						
2000s	INC		0	0.0		
1990s	INC		61	6.6		
1980s	INC		117	12.7		
1970s	INC		722	78.6		
1960s	INC		18	2.0		
1950s	INC		0	0.0		
1940s	INC		0	0.0		
Before 1940	INC		0	0.0		
INC = Data inconsistent between 1990 and 2000 Censuses						
Median Year Built	1976		1976		0	0.0

Stratford Estates Demographics	1990 Census		2000 Census		Change	
	Number	Percent	Number	Percent	Number	Percent
Educational Attainment						
People age 25 years and over	1557		1681		124	8.0
No high school diploma	69	4.4	74	4.4	5	7.2
High School diploma/GED	253	16.2	241	14.3	-12	-4.7
Some college, no degree	373	24.0	451	26.8	78	20.9
Associates Degree	95	6.1	77	4.6	-18	-18.9
Bachelor's Degree	508	32.6	502	29.9	-6	-1.2
Graduate/Professional degree	259	16.6	336	20.0	77	29.7
High School diploma and higher	1488	95.6	1607	95.6	119	8.0
Bachelor's Degree or higher	767	49.3	838	49.9	71	9.3
Household Income Distribution**						
Estimated households from sample	797		884		87	10.9
Under \$25,000	26	3.3	61	6.9	35	134.6
\$25,000 to \$49,999	216	27.1	123	13.9	-93	-43.1
\$50,000 to \$74,999	218	27.4	202	22.9	-16	-7.3
\$75,000 to \$99,999	202	25.3	160	18.1	-42	-20.8
\$100,000 to \$149,999	122	15.3	183	20.7	61	50.0
Over \$150,000	13	1.6	155	17.5	142	1092.3
Median Household Income	\$68,166		\$81,318		13152	19.3
Per Capita Income	\$23,995		\$34,629		10634	44.3
Median Household Income corrected for inflation	\$91,854		\$81,318		-10536	-11.5
Per Capita Income corrected for inflation	\$32,238		\$34,629		2391	7.4
Poverty						
Population below poverty	0	0	34	1.4	34	100.0

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Appendix H – COMMUNITY INVESTMENT PROGRAM (CIP)

Between 1998 and 2008, the City of Plano has invested \$4.2 million dollars in the Stratford Estates neighborhood over the past 10 years through Community Investment Program (CIP) projects. Aging infrastructure in the neighborhood will require ongoing maintenance and continued rehabilitation reconstruction. Please see the map on the next page for project locations.

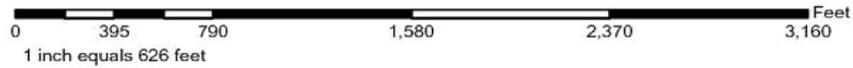
Action	Project #	Location	Date	Comments/Status	Project Cost
Paving & Drainage	4283	Stratford Dr.	97-98	Complete	\$1,165,000
Water Line – Replacement	4283	Stratford Dr.	97-98/98-99	Complete	\$248,000
Relief Sewer	4621	South of Merrimac Dr. on Rustic Dr.	1998	Complete	\$150,000
Claridge Drainage Improvement	4965	CLARIDGE /GREENWAY From 15th St. to Custer	10/1/1999 to 2/31/2002	Construction of additional drainage improvements to alleviate the existing flooding conditions ***COMPLETE***	1,895,000
Water Rehab- Prairie Creek #68936	5024	1. Cloisters Way: Regal to 15th Street 2. Knollwood: Cul-de-Sac to Cul-de-Sac 3. Prairie Creek: Knollwood to Cul-de-Sac 4. Webster: West of Stratford to Cul-de-Sac	2/1/2001 to 9/30/2003	Complete – Part of Rehab program amounting to \$ 1,013,000	\$507,000
Screening Wall	5631	Kimberlea Court	10/1/2006 to 9/30/2007	Replacement of screening walls behind Kimberly Court from Dorchester to Stratford on 15 th – Design is underway. Final plans have been reviewed by City staff and returned to the consultant (7/1/08).	\$156,000
Alley Reconstruction	4279	Alley "I "		Alley Reconstruction ***COMPLETE***	\$80,000
TOTAL					\$4,201,000

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Stratford Estates Neighborhood
 PLANO Attendance District 77

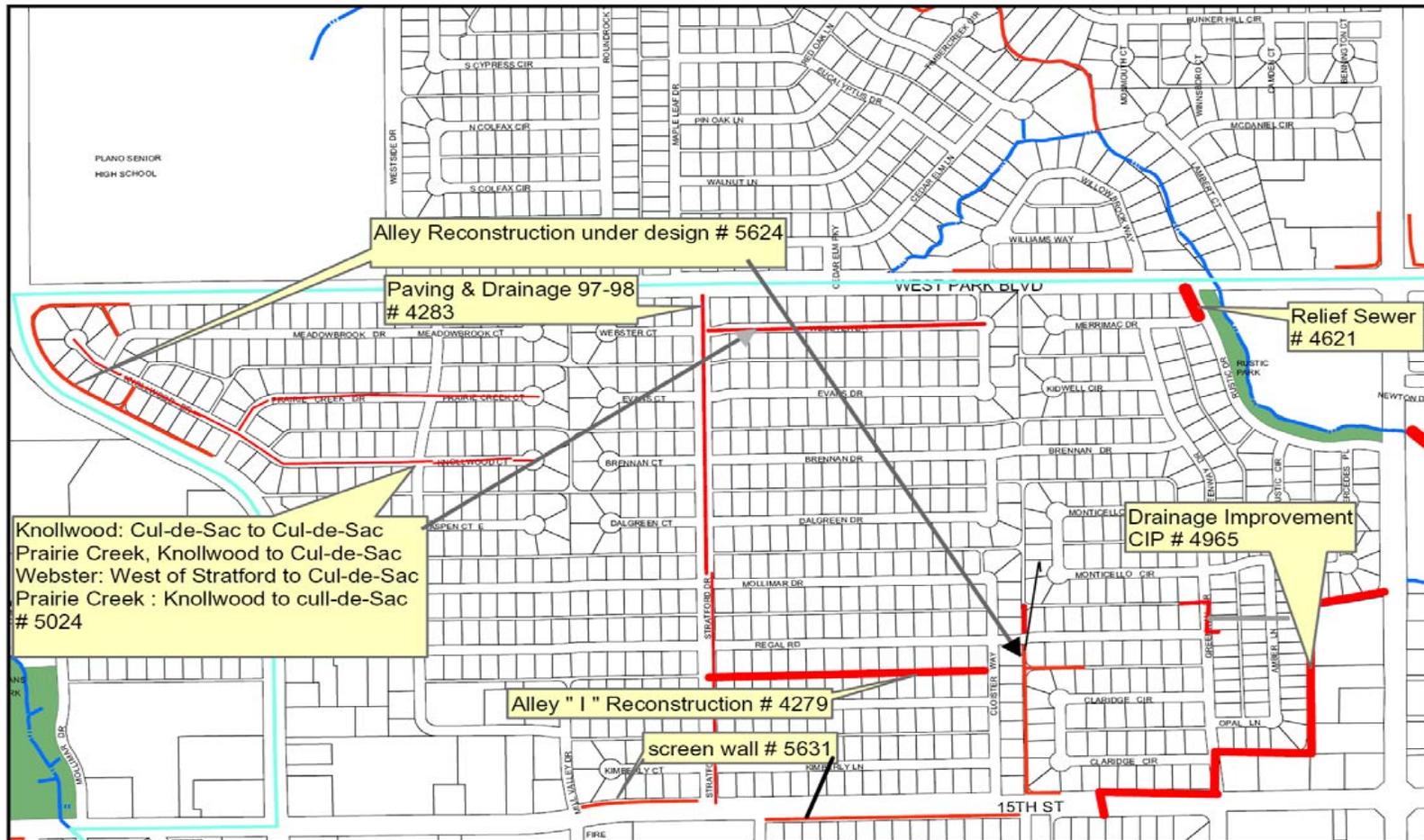


Nov 01, 2007



Legend

- PLANO AttendanceDistricts#77
- PLANO_CIP
- Stream_Centerlines
- PLANO.Parks
- city_limits



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